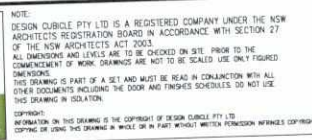


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design cubicle

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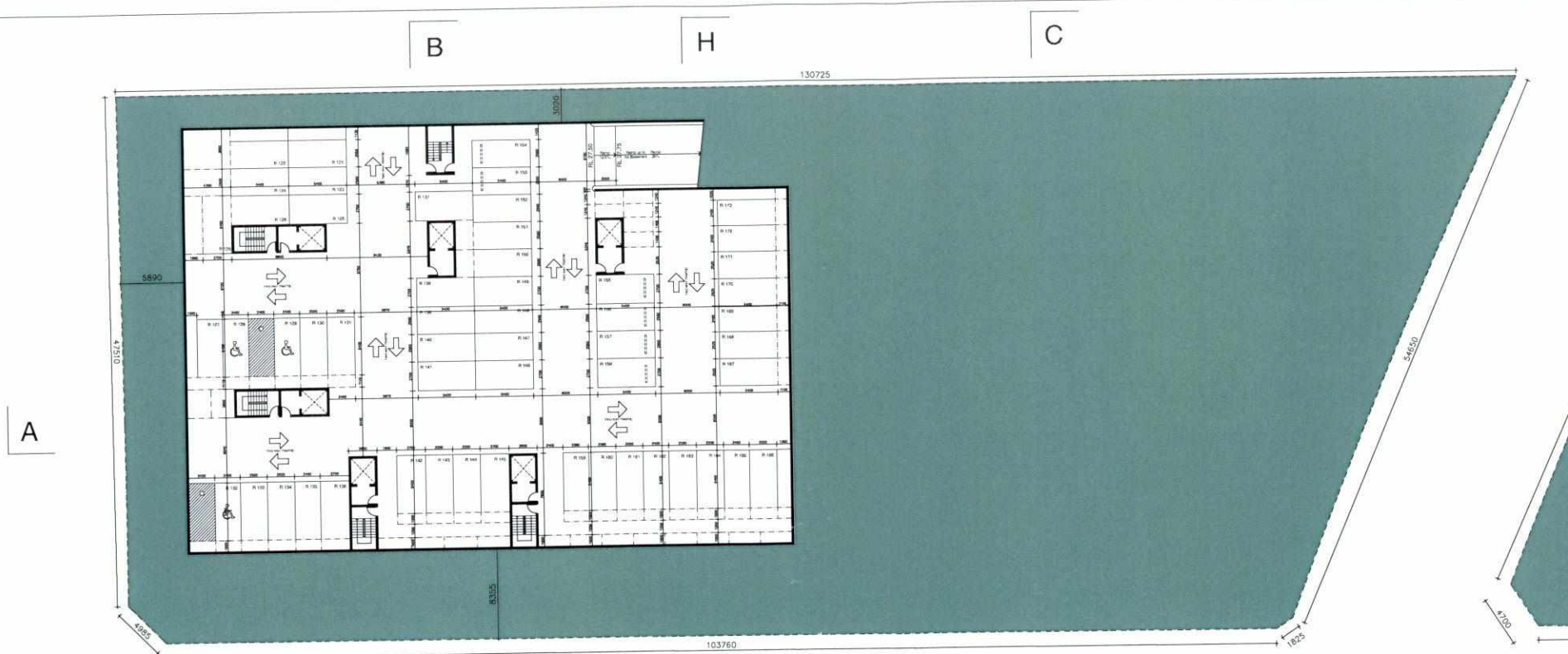
DRAWN BY:
NM / KR

CHECKED BY:
DRK & FRG

DATE:
DEC 12

JOB No.
120511 UA101

1:350 (A0) SCALE:



BASIX Commitments – Block A, B, C, D and E

Water Commitments.

***Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.

Energy Commitments.

***Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.

***Cooling/ Heating System** – Must install min. EER 2.5–3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.

***Ventilation** – Must install exhaust systems in:
Each bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Each kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Each laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off.

***Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas

Energy Commitments.

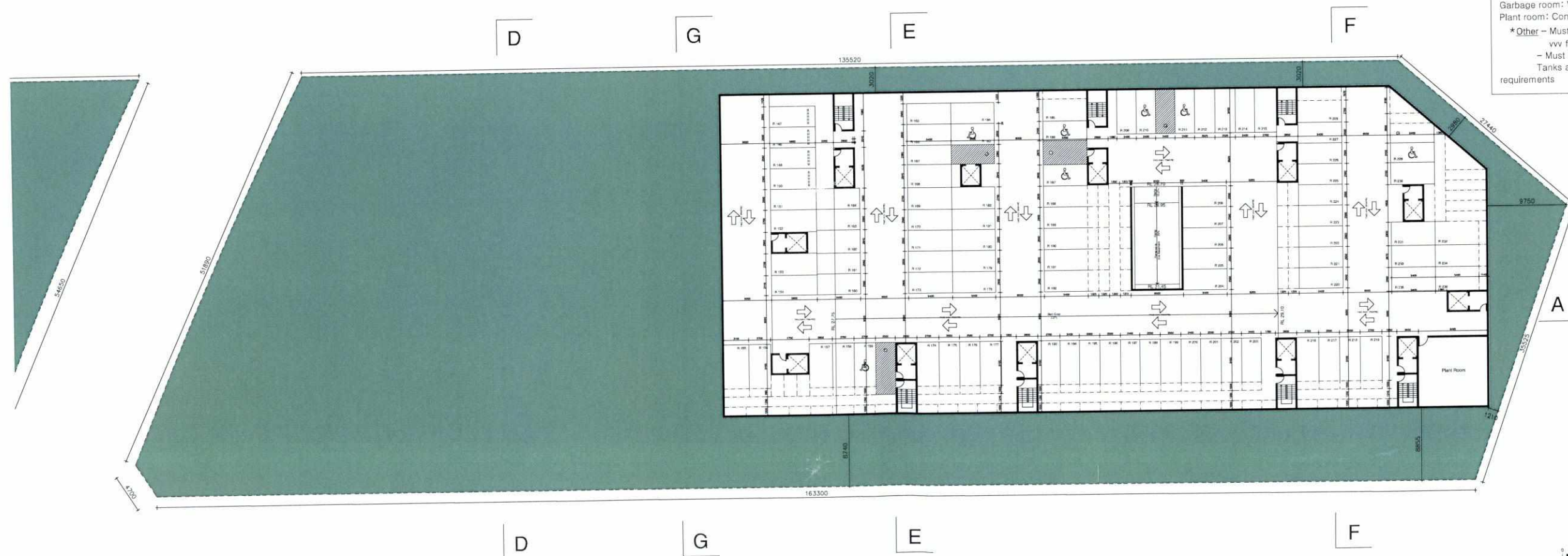
***Lighting** – Must install lighting in:

Car park: fluorescent;
Efficiency measure: day light sensor.
Lift car: fluorescent;
Efficiency measure: Connected to lift call button.
All Lobby & Hallways: compact fluorescent;
Efficiency measure: Manual on/Timer off.
Garbage room: Fluorescent;
Efficiency measure: manual on/off.
Plant room: Fluorescent;
Efficiency measure: manual on/off.

***Ventilation** – Must install ventilation in:

Car park: Ventilation supply+exhaust;
Efficiency measure: Carbon monoxide monitor+VSD fan.
Garbage room: Ventilation supply + exhaust.
Plant room: Continuous ventilation supply only.

***Other** – Must install gear less traction with vvv f motor in lifts.
– Must install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements



BASEMENT LEVEL 3

ISSUE	AMENDMENT	DATE	DRAWN
F	GENERAL REVISION-REDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/IN/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/KR
H	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
G	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP

Prepared For



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SHEET TITLE:
BASEMENT LEVEL 3
LOADED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
NM / KR
CHECKED BY:
DRK & FRG
DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOFIELDS

JOB NO:
120511 DA201

SCALE:
1:200 (A0)

ISSUE:
H



BASIX Commitments – Block A, B, C, D and E
Water Commitments.
 * **Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.
Energy Commitments.
 * **Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.
 * **Cooling/ Heating System** – Must install min. EER 2.5–3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.
 * **Ventilation** – Must install exhaust systems in:
 Each bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
 Each kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
 Each laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
 * **Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas
Energy Commitments.
 * **Lighting** – Must install lighting in:
 Car park: fluorescent;
 Efficiency measure: day light sensor.
 Lift car: fluorescent;
 Efficiency measure: Connected to lift call button.
 All Lobby & Hallways: compact fluorescent;
 Efficiency measure: Manual on/Timer off.
 Garbage room: Fluorescent;
 Efficiency measure: manual on/off.
 Plant room: Fluorescent;
 Efficiency measure: manual on/off.
 * **Ventilation** – Must install ventilation in:
 Car park: Ventilation supply+exhaust;
 Efficiency measure: Carbon monoxide monitor+VSD fan.
 Garbage room: Ventilation supply + exhaust.
 Plant room: Continuous ventilation supply only.
 * **Other** – Must install gear less traction with vvv 1 motor in lifts.
 – Must install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements

BASEMENT LEVEL 2

ISSUE	AMENDMENT	DATE	DRAWN
F	GENERAL REVISION-RTDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/TN/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/KR
H	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
G	AMENDED AS PER COUNCIL EMAIL DATED 11.08.201	11.08.2015	YP

Prepared For

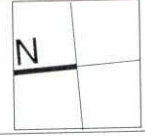


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SHEET TITLE:
BASEMENT LEVEL 2
 LODGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
 NM / KR
 CHECKED BY:
 DRK & FRG
 DATE:
 DEC 12

**PROPOSED RESIDENTIAL DEVELOPMENT
 AT 60 PELICAN ROAD, SCHOFIELDS**

JOB No.
 120511 DA202

SCALE:
 1:200 (A0)

ISSUE:
 H

Legend:

Min. 3.5m height clearance for SRV truck maneuvering

BASIX Commitments – Block A, B, C, D and E Water Commitments.

***Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.

Energy Commitments.

***Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.

***Cooling/ Heating System** – Must install min. EER 2.5–3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.

***Ventilation** – Must install exhaust systems in: Each bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off. Each kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off. Each laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off.

***Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas

Energy Commitments.

***Lighting** – Must install lighting in:

Car park: fluorescent;
Efficiency measure: day light sensor.
Lift car: fluorescent;
Efficiency measure: Connected to lift call button.
All Lobby & Hallways: compact fluorescent;
Efficiency measure: Manual on/Timer off.
Garbage room: Fluorescent;
Efficiency measure: manual on/off.
Plant room: Fluorescent;
Efficiency measure: manual on/off.

***Ventilation** – Must install ventilation in:

Car park: Ventilation supply+exhaust;
Efficiency measure: Carbon monoxide monitor+VSD fan.
Garbage room: Ventilation supply + exhaust.
Plant room: Continuous ventilation supply only.

***Other** – Must install gear less traction with vvv f motor in lifts.
– Must install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements

BASEMENT LEVEL 1

F	GENERAL REVISION-RFDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	06.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/TK/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/RR
H	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
G	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP
ISSUE	AMENDMENT	DATE	DRAWN

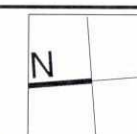
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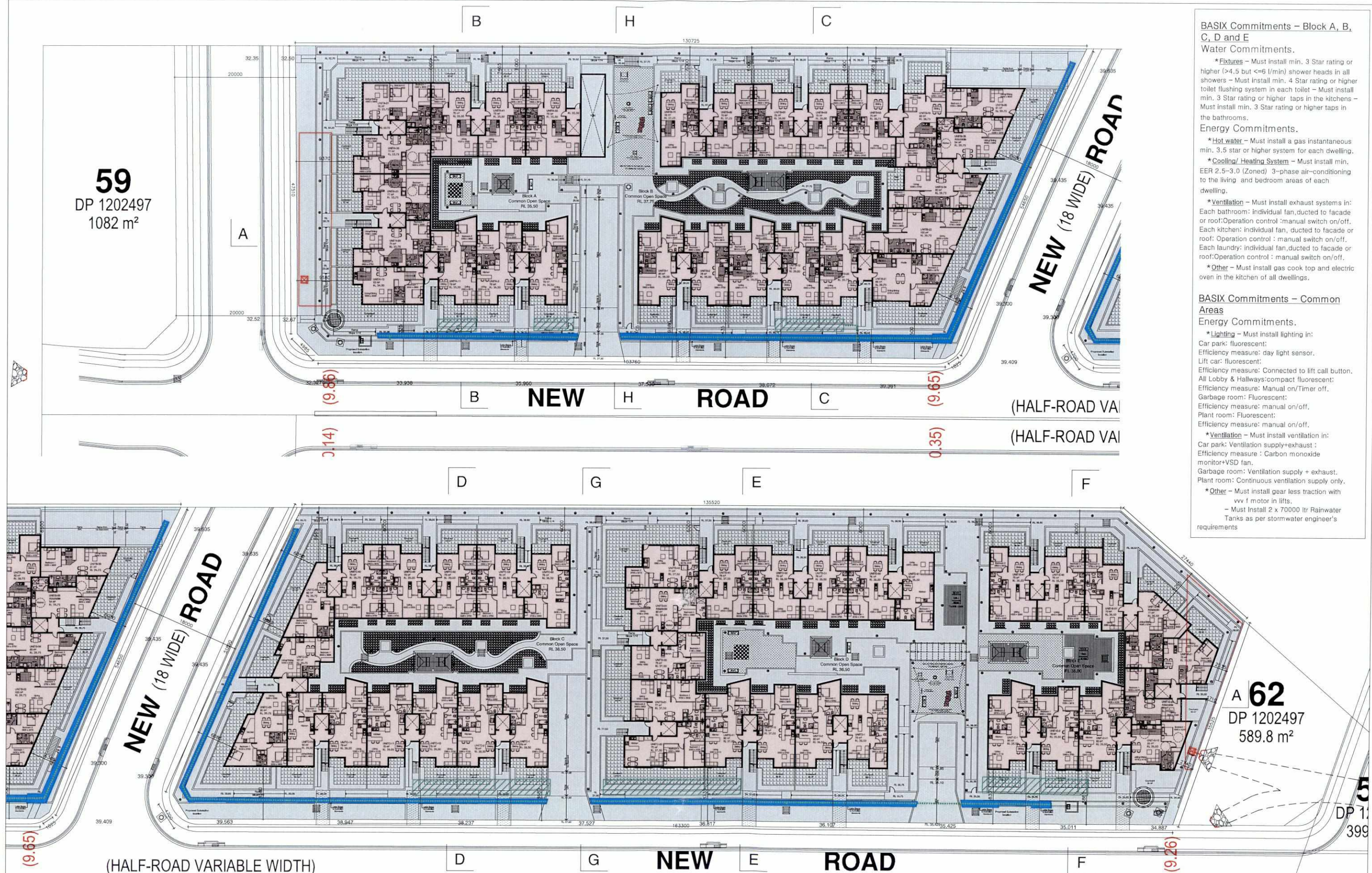
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SHEET TITLE:
BASEMENT LEVEL 1
LOADED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
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DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOFIELDS
JOB No:
120511 DA203
SCALE:
1:200 (A0)
ISSUE:
H



BASIX Commitments – Block A, B, C, D and E
Water Commitments.

* **Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.

Energy Commitments.

* **Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.
* **Cooling/ Heating System** – Must install min. EER 2.5–3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.
* **Ventilation** – Must install exhaust systems in:
Each bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Each kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Each laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
* **Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas
Energy Commitments.

* **Lighting** – Must install lighting in:
Car park: fluorescent;
Efficiency measure: day light sensor.
Lift car: fluorescent;
Efficiency measure: Connected to lift call button.
All Lobby & Hallways: compact fluorescent;
Efficiency measure: Manual on/Timer off.
Garage room: Fluorescent;
Efficiency measure: manual on/off.
Plant room: Fluorescent;
Efficiency measure: manual on/off.
* **Ventilation** – Must install ventilation in:
Car park: Ventilation supply+exhaust;
Efficiency measure: Carbon monoxide monitor+VSD fan.
Garage room: Ventilation supply + exhaust.
Plant room: Continuous ventilation supply only.
* **Other** – Must install gear less traction with vvv motor in lifts.
– Must install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements

GROUND FLOOR PLAN
(HALF-ROAD VARIABLE WIDTH)

F	GENERAL REVISION-RFDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	08.07.2015	DN/IN/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/PR
H	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
G	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP
ISSUE	AMENDMENT	DATE	DRAWN

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SHEET TITLE:
GROUND FLOOR PLAN

DRAWN BY:
NM / KR

CHECKED BY:
DRK & FRG

DATE:
DEC 12

LOGGED AT: BLACKTOWN CITY COUNCIL

PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOIELDS

JOB No:
120511 DA204

SCALE:
1:200 (A0)

ISSUE:
H

BASIX Commitments – Block A, B, C, D and E

Water Commitments.

* **Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.

Energy Commitments.

* **Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.

* **Cooling/ Heating System** – Must install min. EER 2.5-3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.

* **Ventilation** – Must install exhaust systems in:
Each bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Each kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Each laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off.

* **Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas

Energy Commitments.

* **Lighting** – Must install lighting in:

Car park: fluorescent;
Efficiency measure: day light sensor.
Lift car: fluorescent;
Efficiency measure: Connected to lift call button.
All Lobby & Hallways: compact fluorescent;
Efficiency measure: Manual on/Timer off.
Garbage room: Fluorescent;
Efficiency measure: manual on/off.
Plant room: Fluorescent;
Efficiency measure: manual on/off.

* **Ventilation** – Must install ventilation in:

Car park: Ventilation supply+exhaust;
Efficiency measure: Carbon monoxide monitor+VSD fan.
Garbage room: Ventilation supply + exhaust.
Plant room: Continuous ventilation supply only.

* **Other** – Must install gear less traction with vvv f motor in lifts.
– Must Install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements



FIRST FLOOR PLAN

F	GENERAL REVISION-RFDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/7N/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/KR
H	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
G	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP
ISSUE	AMENDMENT	DATE	DRAWN

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SHEET TITLE:
FIRST FLOOR PLAN

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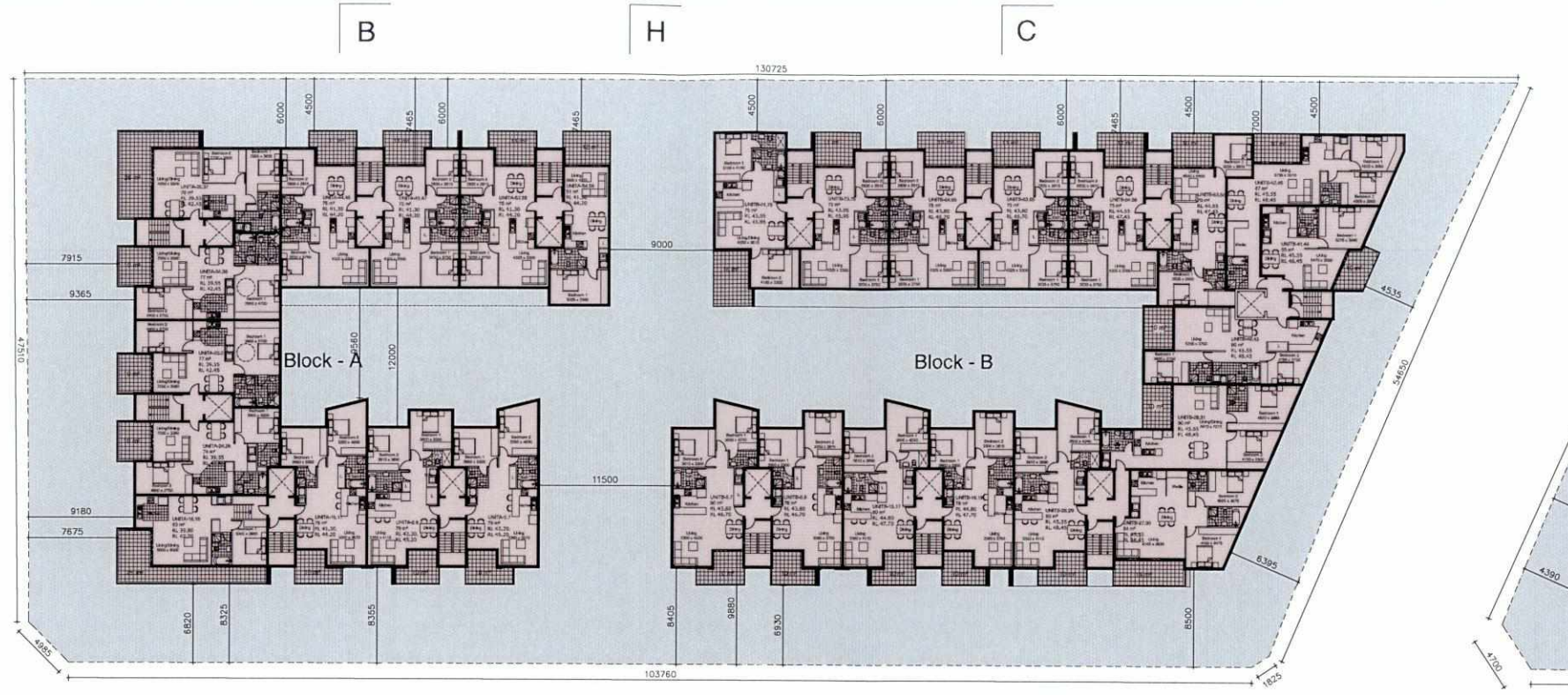
DRAWN BY:
NM/KR
CHECKED BY:
DRK & FRG
DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOIELDS

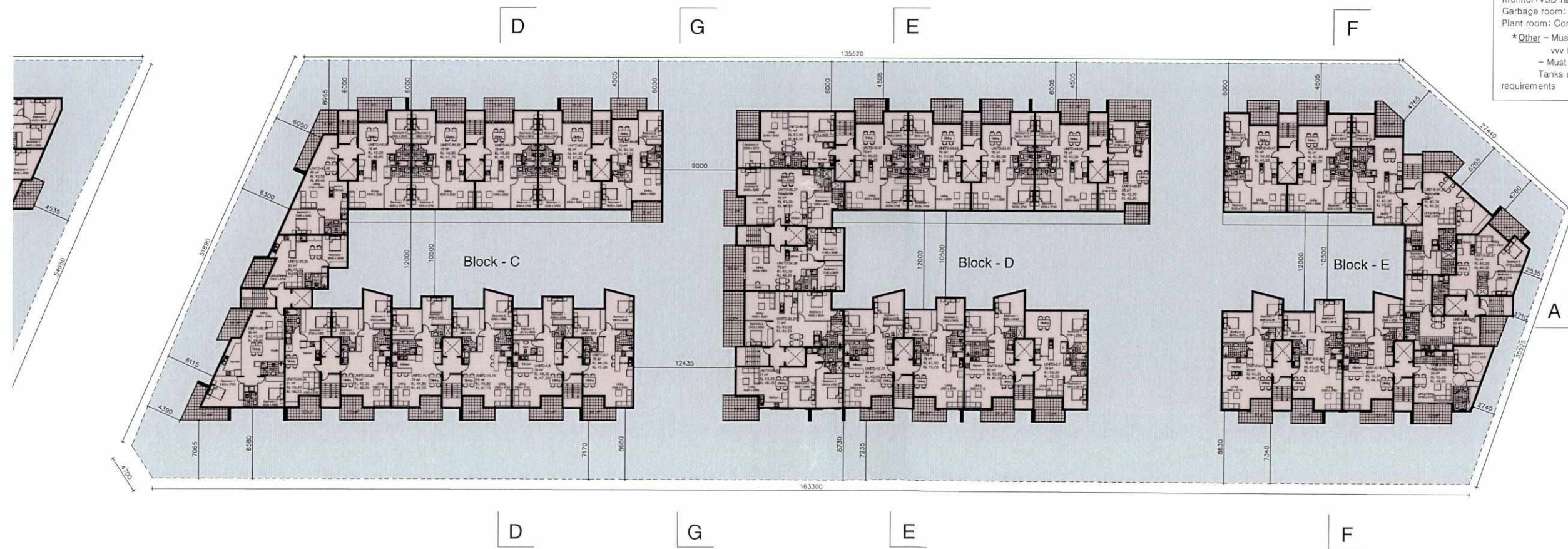
JOB No:
120511 DA205

ISSUE:
H

SCALE:
1:200 (A0)



- BASIX Commitments – Block A, B, C, D and E**
- Water Commitments.**
- * **Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.
- Energy Commitments.**
- * **Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.
 - * **Cooling/ Heating System** – Must install min. EER 2.5-3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.
 - * **Ventilation** – Must install exhaust systems in: Each bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off. Each kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off. Each laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
 - * **Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.
- BASIX Commitments – Common Areas**
- Energy Commitments.**
- * **Lighting** – Must install lighting in: Car park: fluorescent; Efficiency measure: day light sensor. Lift car: fluorescent; Efficiency measure: Connected to lift call button. All Lobby & Hallways: compact fluorescent; Efficiency measure: Manual on/Timer off. Garbage room: Fluorescent; Efficiency measure: manual on/off. Plant room: Fluorescent; Efficiency measure: manual on/off.
 - * **Ventilation** – Must install ventilation in: Car park: Ventilation supply+exhaust; Efficiency measure: Carbon monoxide monitor+VSD fan. Garbage room: Ventilation supply + exhaust. Plant room: Continuous ventilation supply only.
 - * **Other** – Must install gear less traction with vvv f motor in lifts. – Must install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements



SECOND AND THIRD FLOOR PLAN

F	GENERAL REVISION-RFDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/7N/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DIA SUBMISSION	21.03.2014	NM/KR
H	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
G	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP
ISSUE	AMENDMENT	DATE	DRAWN

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SHEET TITLE:
2ND & 3RD FLOOR PLAN

LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
NM/KR

CHECKED BY:
DRK & FRG

DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOFIELDS

JOB No:
120511 DA206

SCALE:
1:200 (A0)

ISSUE:
H

BASIX Commitments – Block A, B, C, D and E Water Commitments.

* **Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.

Energy Commitments.

* **Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.

* **Cooling/ Heating System** – Must install min. EER 2.5–3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.

* **Ventilation** – Must install exhaust systems in:
Each bathroom: individual fan, ducted to facade or roof; Operation control : manual switch on/off.
Each kitchen: individual fan, ducted to facade or roof; Operation control : manual switch on/off.
Each laundry: individual fan, ducted to facade or roof; Operation control : manual switch on/off.

* **Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas

Energy Commitments.

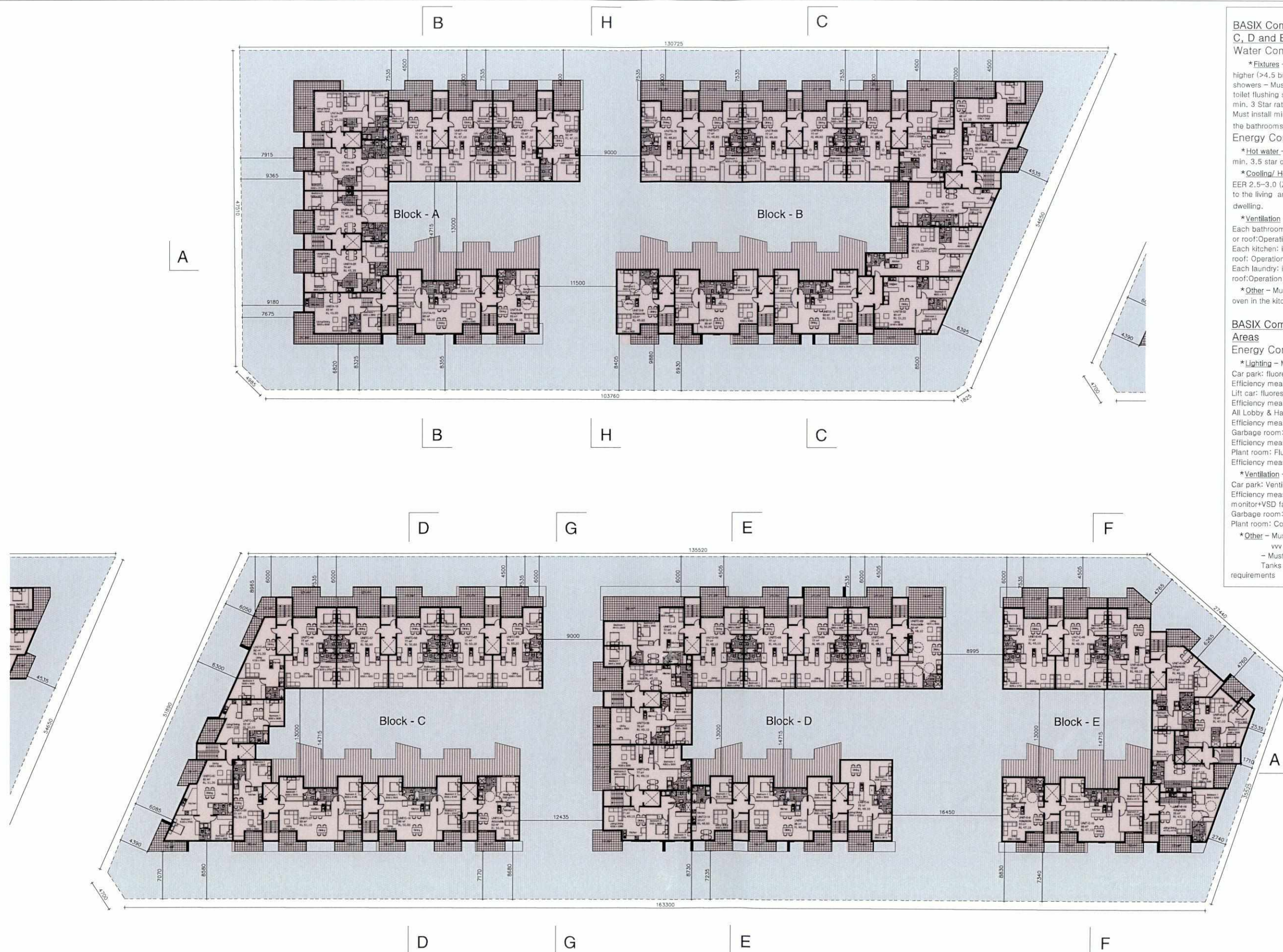
* **Lighting** – Must install lighting in:

Car park: fluorescent;
Efficiency measure: day light sensor.
Lift car: fluorescent;
Efficiency measure: Connected to lift call button.
All Lobby & Hallways: compact fluorescent;
Efficiency measure: Manual on/Timer off.
Garbage room: Fluorescent;
Efficiency measure: manual on/off.
Plant room: Fluorescent;
Efficiency measure: manual on/off.

* **Ventilation** – Must install ventilation in:

Car park: Ventilation supply+exhaust ;
Efficiency measure : Carbon monoxide monitor+VSD fan.
Garbage room: Ventilation supply + exhaust.
Plant room: Continuous ventilation supply only.

* **Other** – Must install gear less traction with vvv f motor in lifts.
– Must Install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements



FOURTH FLOOR PLAN

F	GENERAL REVISION-RDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/TN/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/NR
H	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
G	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP
ISSUE	AMENDMENT	DATE	DRAWN

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SHEET TITLE:
FOURTH FLOOR PLAN
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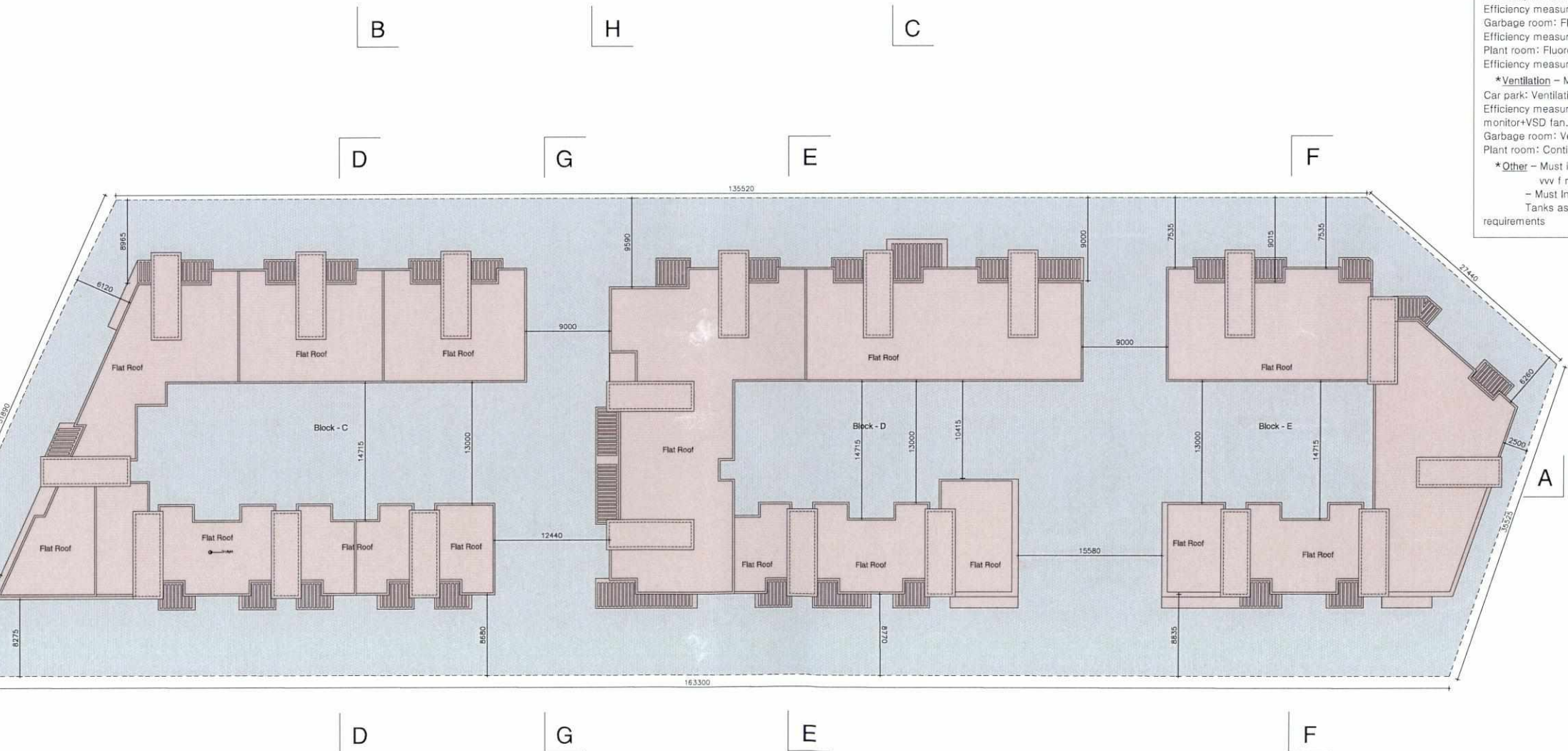
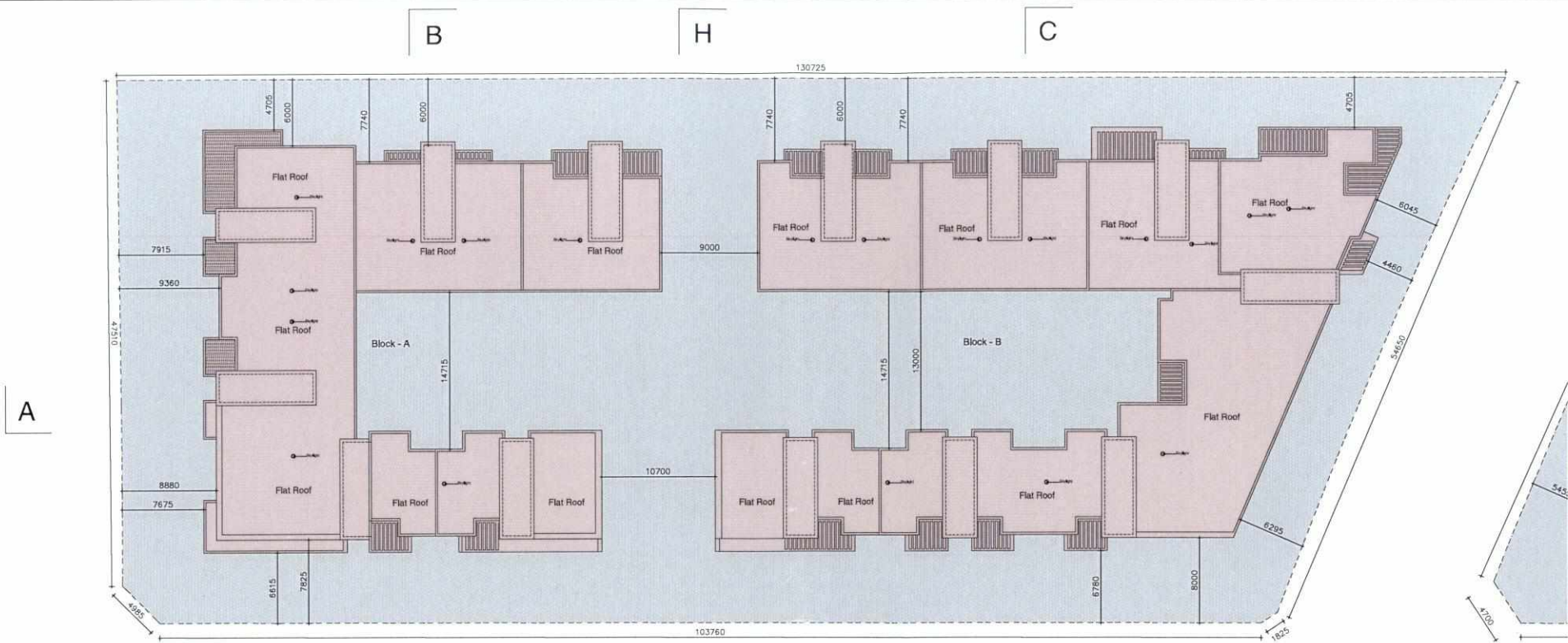
DRAWN BY:
NM/KR
CHECKED BY:
DRK & FRG
DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOFIELDS

JOB No.
120511 DA207

ISSUE:
H

SCALE:
1:200 (A0)



BASIX Commitments – Block A, B, C, D and E

Water Commitments.

***Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.

Energy Commitments.

***Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.

***Cooling/ Heating System** – Must install min. EER 2.5–3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.

***Ventilation** – Must install exhaust systems in:
Each bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Each kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Each laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off.

***Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas

Energy Commitments.

***Lighting** – Must install lighting in:

Car park: fluorescent;
Efficiency measure: day light sensor.
Lift car: fluorescent;
Efficiency measure: Connected to lift call button.
All Lobby & Hallways: compact fluorescent;
Efficiency measure: Manual on/Timer off.
Garbage room: Fluorescent;
Efficiency measure: manual on/off.
Plant room: Fluorescent;
Efficiency measure: manual on/off.

***Ventilation** – Must install ventilation in:

Car park: Ventilation supply+exhaust;
Efficiency measure: Carbon monoxide monitor+VSD fan.
Garbage room: Ventilation supply + exhaust.
Plant room: Continuous ventilation supply only.

***Other** – Must install gear less traction with vvv f motor in lifts.
– Must install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements

ROOF PLAN

F	GENERAL REVISION-RDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/IN/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/KR
H	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
G	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP
ISSUE	AMENDMENT	DATE	DRAWN

Prepared For

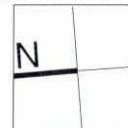


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SHEET TITLE:
ROOF PLAN

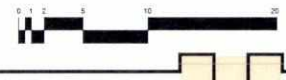
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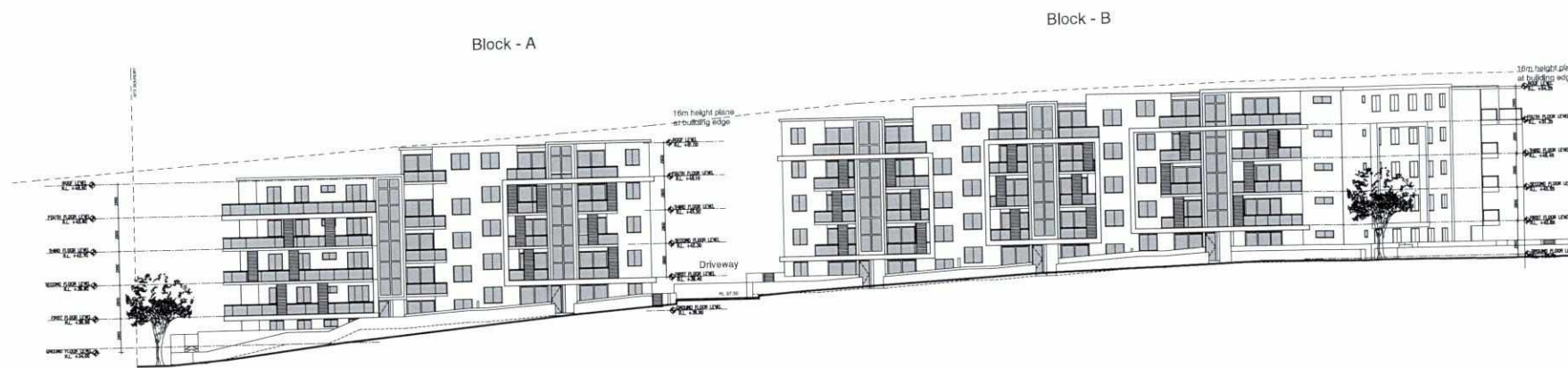
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CHECKED BY:
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DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOFIELDS

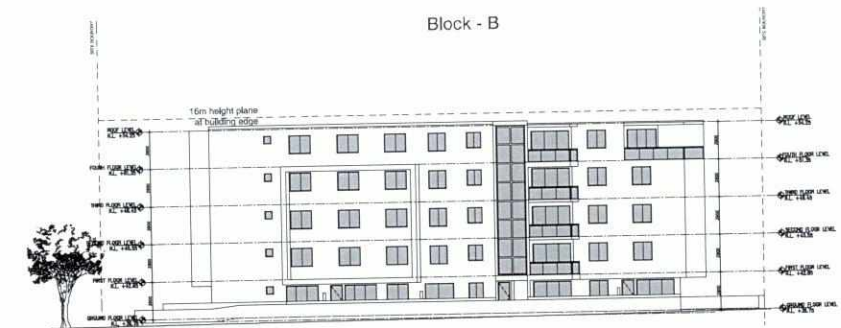
JOB No:
120511 DA208

SCALE:
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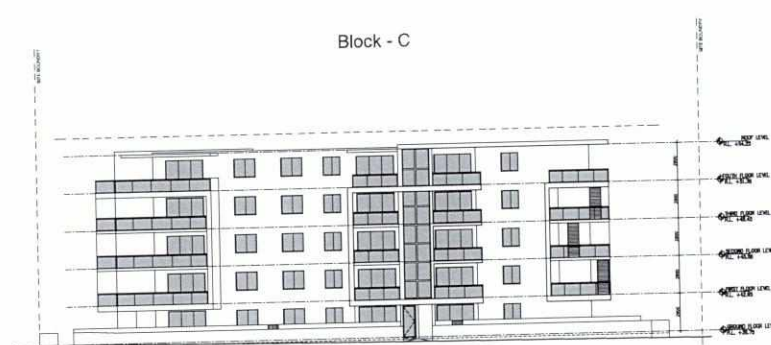
WEST ELEVATION - BLOCK A & B



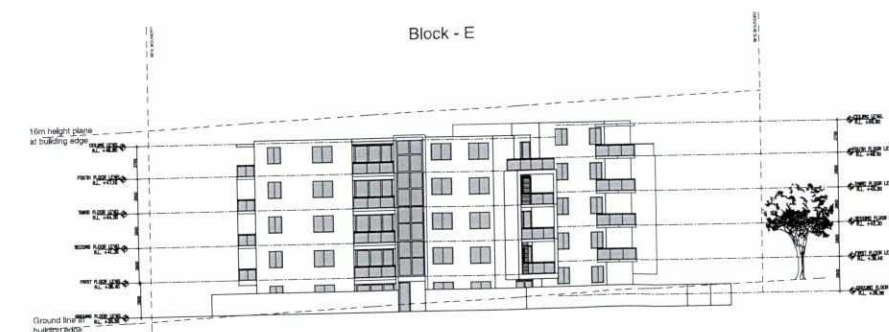
SOUTH ELEVATION - BLOCK B



WEST ELEVATION - BLOCK C, D & E



NORTH ELEVATION - BLOCK C



SOUTH ELEVATION - BLOCK E

BASIX Commitments – Block A, B, C, D and E Water Commitments.

***Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.

Energy Commitments.

***Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.

***Cooling/ Heating System** – Must install min. EER 2.5–3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.

***Ventilation** – Must install exhaust systems in:
Each bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Each kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Each laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off.

***Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas

Energy Commitments.

***Lighting** – Must install lighting in:
Car park: fluorescent;
Efficiency measure: day light sensor.
Lift car: fluorescent;
Efficiency measure: Connected to lift call button.
All Lobby & Hallways: compact fluorescent;
Efficiency measure: Manual on/Timer off.
Garbage room: Fluorescent;
Efficiency measure: manual on/off.
Plant room: Fluorescent;
Efficiency measure: manual on/off.

***Ventilation** – Must install ventilation in:
Car park: Ventilation supply+exhaust;
Efficiency measure: Carbon monoxide monitor+VSD fan.
Garbage room: Ventilation supply + exhaust.
Plant room: Continuous ventilation supply only.

***Other** – Must install gear less traction with vvv f motor in lifts.
– Must install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements

ABSA Specifications

- All external hebel walls to have R1.0 insulation
- All hebel party walls to have R1.0 insulation
- All ceilings of top floor units to have R1.5 insulation

ISSUE	AMENDMENT	DATE	DRAWN
F	GENERAL REVISION-REDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/TN/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/RR
B	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
A	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP

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SHEET TITLE:
ELEVATIONS 1 OF 2
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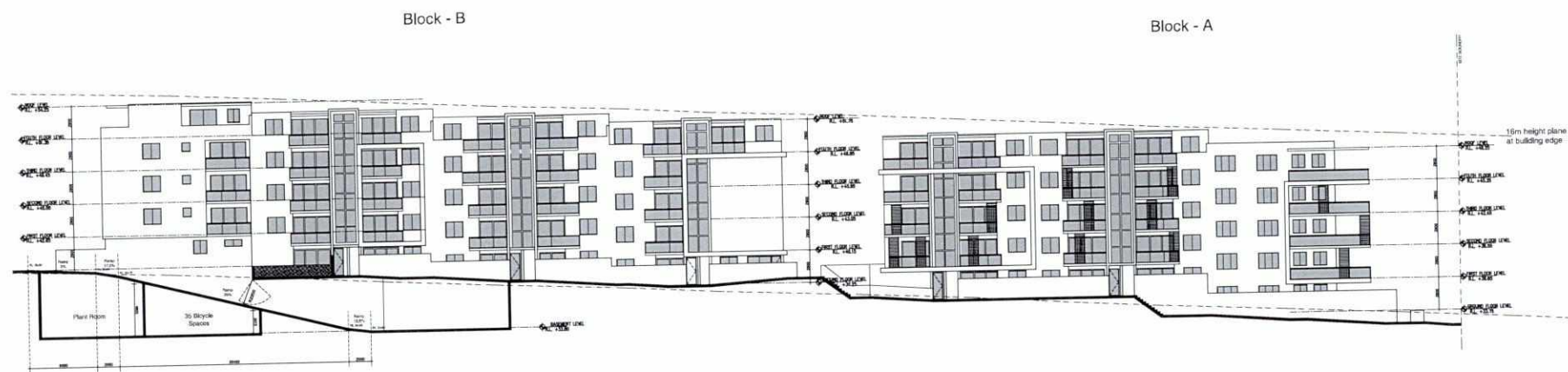
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NM/KR
CHECKED BY:
DRK & FRG
DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPEMENT
AT 60 PELICAN ROAD, SCHOFIELDS
JOB No:
120511 DA300
SCALE:
1:200 (A0)

ISSUE:
H



EAST ELEVATION - BLOCK C, D & E



EAST ELEVATION - BLOCK A & B

BASIX Commitments – Block A, B, C, D and E

Water Commitments.

***Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.

Energy Commitments.

***Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.

***Cooling/ Heating System** – Must install min. EER 2.5-3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.

***Ventilation** – Must install exhaust systems in:
Each bathroom: individual fan, ducted to facade or roof; Operation control : manual switch on/off.
Each kitchen: individual fan, ducted to facade or roof; Operation control : manual switch on/off.
Each laundry: individual fan, ducted to facade or roof; Operation control : manual switch on/off.

***Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas

Energy Commitments.

***Lighting** – Must install lighting in:

Car park: fluorescent;
Efficiency measure: day light sensor.
Lift car: fluorescent;
Efficiency measure: Connected to lift call button.
All Lobby & Hallways: compact fluorescent;
Efficiency measure: Manual on/Timer off.
Garbage room: Fluorescent;
Efficiency measure: manual on/off.
Plant room: Fluorescent;
Efficiency measure: manual on/off.

***Ventilation** – Must install ventilation in:

Car park: Ventilation supply+exhaust;
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Garbage room: Ventilation supply + exhaust.
Plant room: Continuous ventilation supply only.

***Other** – Must install gear less traction with vvv f motor in lifts.
– Must install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements

ABSA Specifications

- All external hebel walls to have R1.0 insulation
- All hebel party walls to have R1.0 insulation
- All ceilings of top floor units to have R1.5 insulation



ISSUE	AMENDMENT	DATE	DRAWN
F	GENERAL REVISION-RFDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/TN/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/KR
H	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
G	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP

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SHEET TITLE:
ELEVATIONS 2 OF 2

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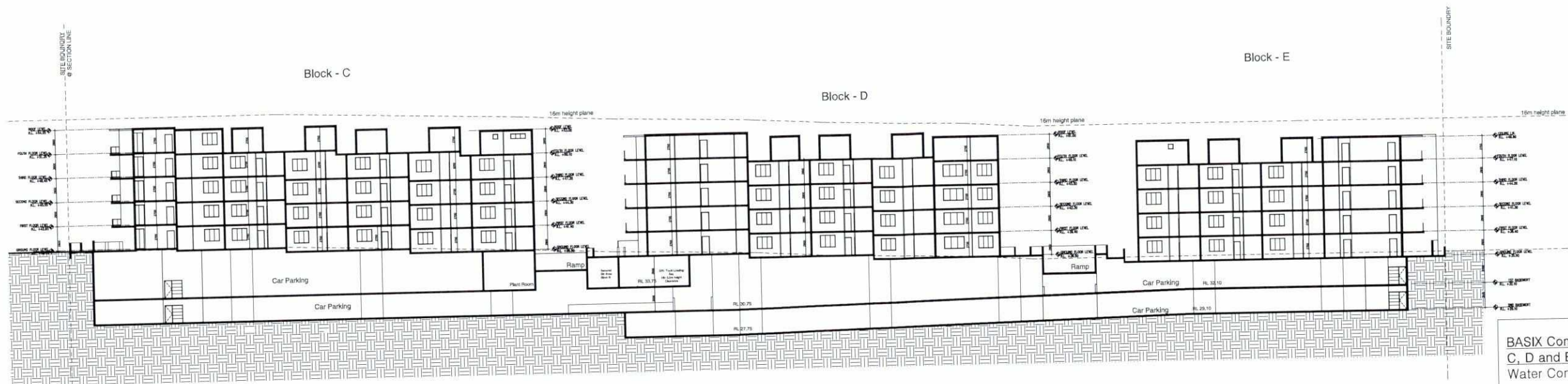
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DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOFIELDS

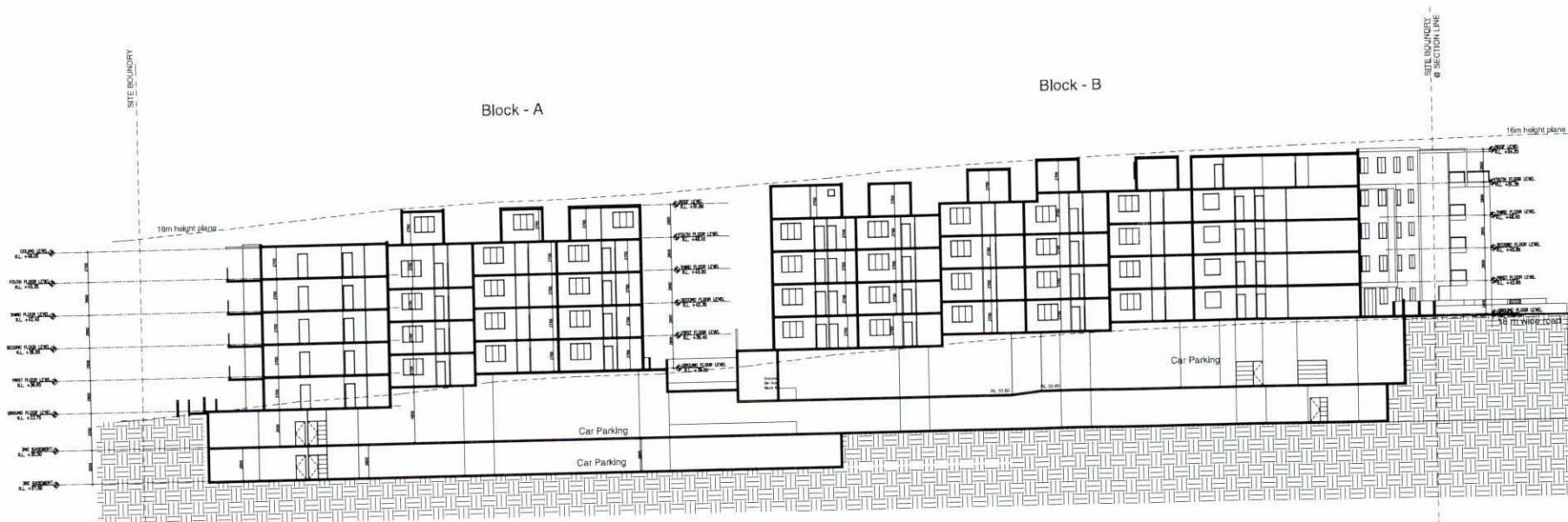
JOB No
120511 DA301

SCALE:
1:200 (A0)

ISSUE:
H



SECTION AA THROUGH - BLOCK C, D & E



SECTION AA THROUGH - BLOCK A & B

BASIX Commitments – Block A, B, C, D and E
Water Commitments.

* **Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.

Energy Commitments.

* **Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.

* **Cooling/ Heating System** – Must install min. EER 2.5–3.0 (Zoned) 3-phase air-conditioning to the living and bedroom areas of each dwelling.

* **Ventilation** – Must install exhaust systems in: Each bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off. Each kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off. Each laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off.

* **Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas
Energy Commitments.

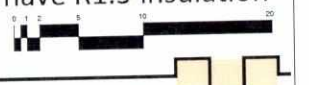
* **Lighting** – Must install lighting in:
Car park: fluorescent;
Efficiency measure: day light sensor.
Lift car: fluorescent;
Efficiency measure: Connected to lift call button.
All Lobby & Hallways: compact fluorescent;
Efficiency measure: Manual on/Timer off.
Garbage room: Fluorescent;
Efficiency measure: manual on/off.
Plant room: Fluorescent;
Efficiency measure: manual on/off.

* **Ventilation** – Must install ventilation in:
Car park: Ventilation supply+exhaust;
Efficiency measure: Carbon monoxide monitor+VSD fan.
Garbage room: Ventilation supply + exhaust.
Plant room: Continuous ventilation supply only.

* **Other** – Must install gear less traction with vvv f motor in lifts.
– Must install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements

ABSA Specifications

- All external hebel walls to have R1.0 insulation
- All hebel party walls to have R1.0 insulation
- All ceilings of top floor units to have R1.5 insulation



ISSUE	AMENDMENT	DATE	DRAWN
F	GENERAL REVISION-RTDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/IN/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/KR
H	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
G	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP

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SHEET TITLE:
SECTIONS 1 OF 2

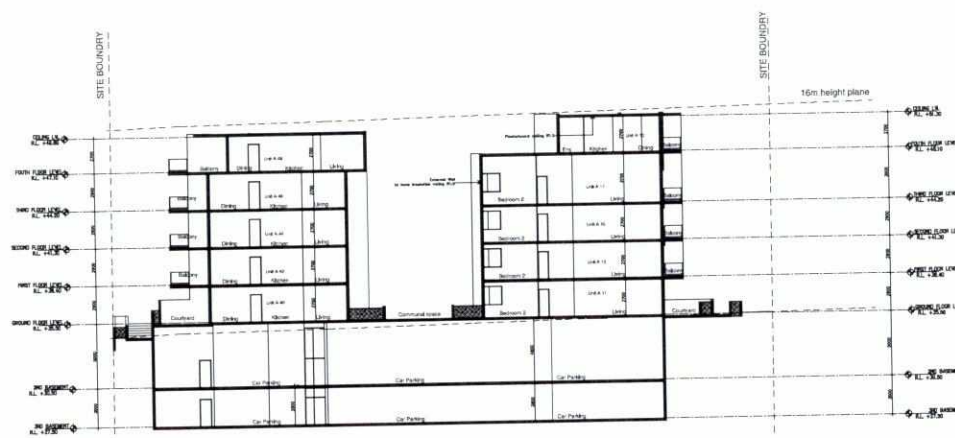
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DATE:
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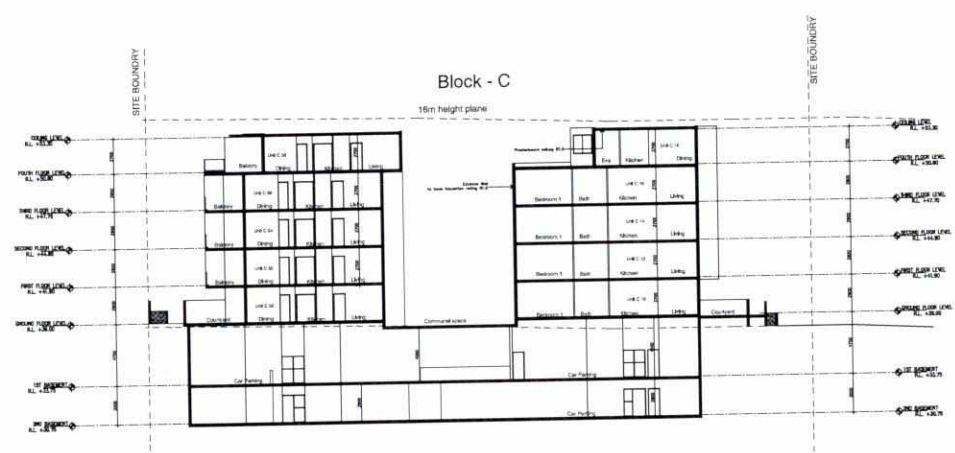
PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOFIELDS

JOB No:
120511 DA302

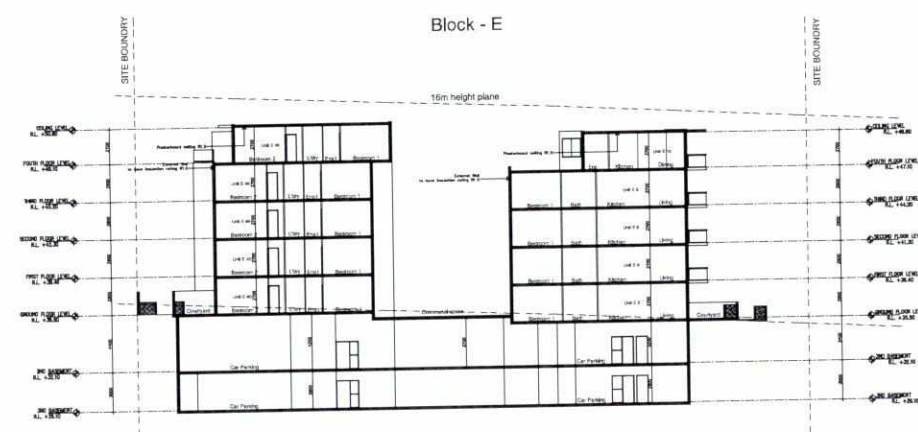
ISSUE:
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SCALE:
1:200 (AO)



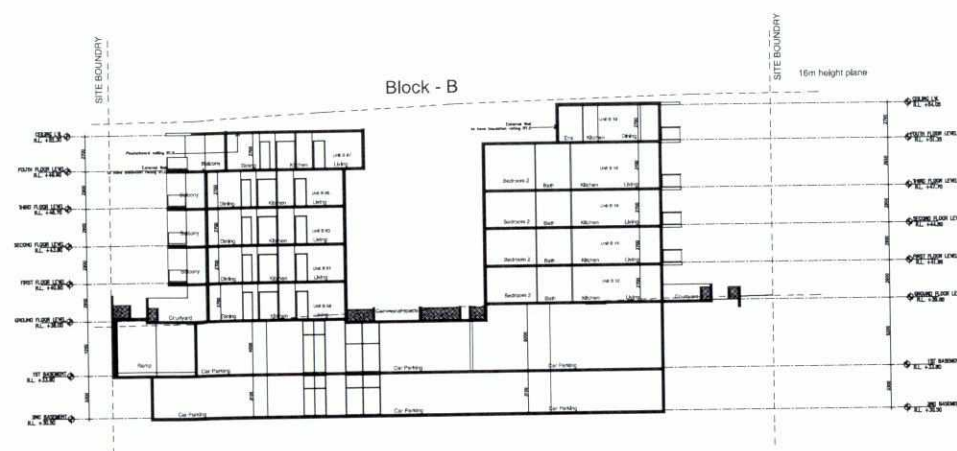
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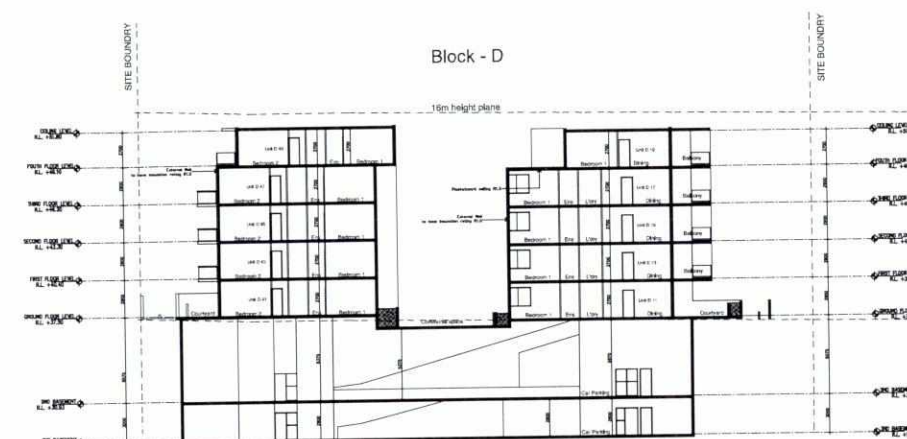
SECTION DD THROUGH BLOCK C



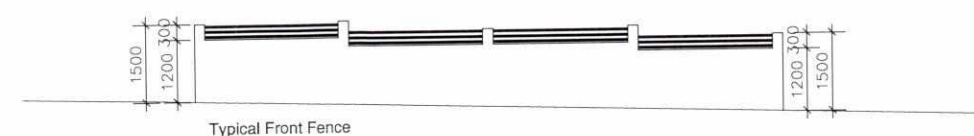
SECTION FF THROUGH BLOCK E



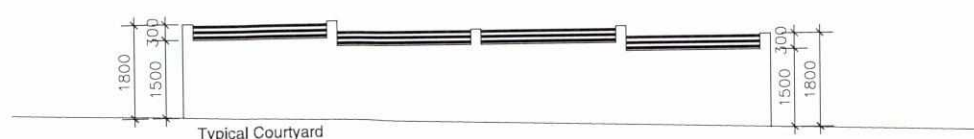
SECTION CC THROUGH BLOCK B



SECTION EE THROUGH BLOCK D



TYPICAL BOUNDARY FENCE DETAILS
SCALE 1:50 (A0)



TYPICAL COURTYARD FENCE DETAILS
SCALE 1:50 (A0)

- ABSA Specifications**
- All external hebel walls to have R1.0 insulation
 - All hebel party walls to have R1.0 insulation
 - All ceilings of top floor units to have R1.5 insulation



REVISION	GENERAL REVISION-REDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	DATE	DRAWN
F	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	05.08.2015	DN
E	AMENDED AS PER COUNCIL COMMENTS	26.02.2015	YP
D	ISSUED FOR DA SUBMISSION	21.03.2014	NM/KR
C	AMENDED AS PER COUNCIL EMAIL DATED 08.10.2015	17.11.2015	DN
B	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP
A	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP

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SHEET TITLE:
SECTIONS 2 OF 2

LOADED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
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DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOFIELDS

JOB No:
120511 DA303

SCALE:
1:200 (A0)

BASIX Commitments – Block A, B, C, D and E **Water Commitments.**

* **Fixtures** – Must install min. 3 Star rating or higher (>4.5 but <=6 l/min) shower heads in all showers – Must install min. 4 Star rating or higher toilet flushing system in each toilet – Must install min. 3 Star rating or higher taps in the kitchens – Must install min. 3 Star rating or higher taps in the bathrooms.

Energy Commitments.

* **Hot water** – Must install a gas instantaneous min. 3.5 star or higher system for each dwelling.

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Each kitchen: individual fan, ducted to facade or roof; Operation control : manual switch on/off.
Each laundry: individual fan, ducted to facade or roof; Operation control : manual switch on/off.

* **Other** – Must install gas cook top and electric oven in the kitchen of all dwellings.

BASIX Commitments – Common Areas **Energy Commitments.**

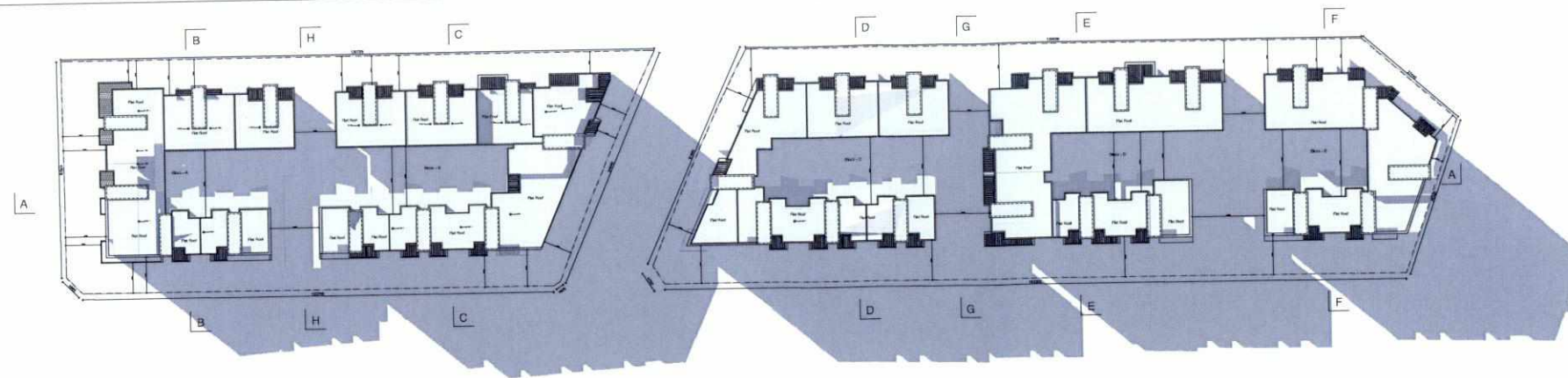
* **Lighting** – Must install lighting in:

Car park: fluorescent;
Efficiency measure: day light sensor.
Lift car: fluorescent;
Efficiency measure: Connected to lift call button.
All Lobby & Hallways: compact fluorescent;
Efficiency measure: Manual on/Timer off.
Garbage room: Fluorescent;
Efficiency measure: manual on/off.
Plant room: Fluorescent;
Efficiency measure: manual on/off.

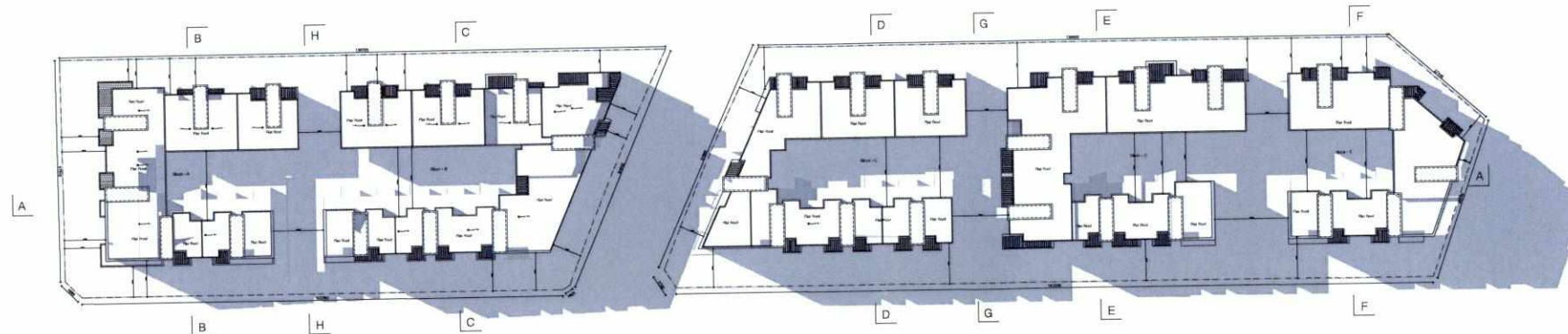
* **Ventilation** – Must install ventilation in:

Car park: Ventilation supply+exhaust ;
Efficiency measure : Carbon monoxide monitor+VSD fan.
Garbage room: Ventilation supply + exhaust.
Plant room: Continuous ventilation supply only.

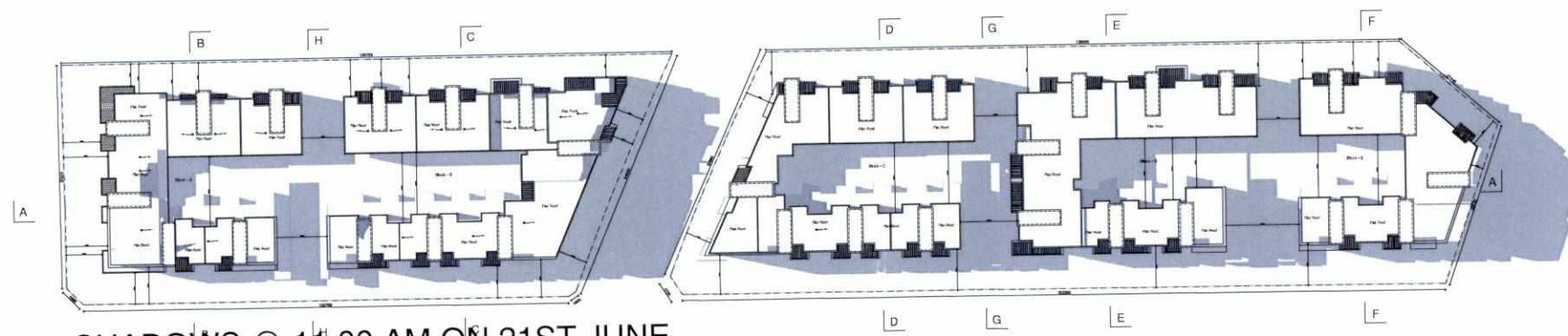
* **Other** – Must install gear less traction with vvv f motor in lifts.
– Must Install 2 x 70000 ltr Rainwater Tanks as per stormwater engineer's requirements



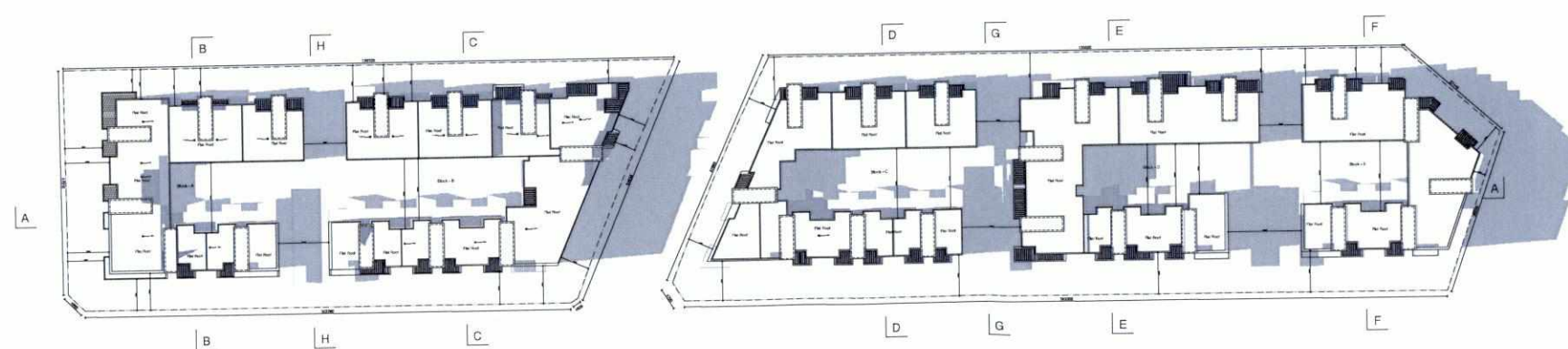
SHADOWS @ 9:00 AM ON 21ST JUNE



SHADOWS @ 10:00 AM ON 21ST JUNE



SHADOWS @ 11:00 AM ON 21ST JUNE



SHADOWS @ 12:00 PM ON 21ST JUNE

SHADOWS 1 OF 2

REVISION	DESCRIPTION	DATE	DRAWN
F	GENERAL REVISION-REDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/TN/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NM/KR
B	AMENDED FOR COUNCIL COMMENTS EMAIL DATED 08.10.2015	17.11.2015	DN
A	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP
ISSUE	AMENDMENT	DATE	DRAWN

Prepared For



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http: www.designcubicle.com.au
ABN: 47 116 316 333



SHEET TITLE:
SHADOWS 1 OF 2

LOADED AT: BLACKTOWN CITY COUNCIL

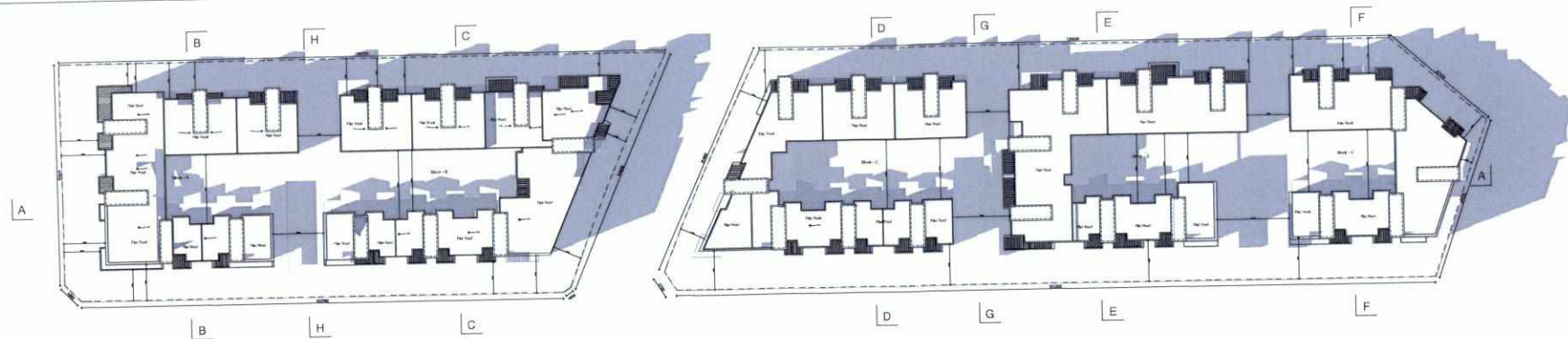
DRAWN BY:
NM/KR
CHECKED BY:
DRK & FRG
DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPMENT
AT 60 PELICAN ROAD, SCHOFIELDS

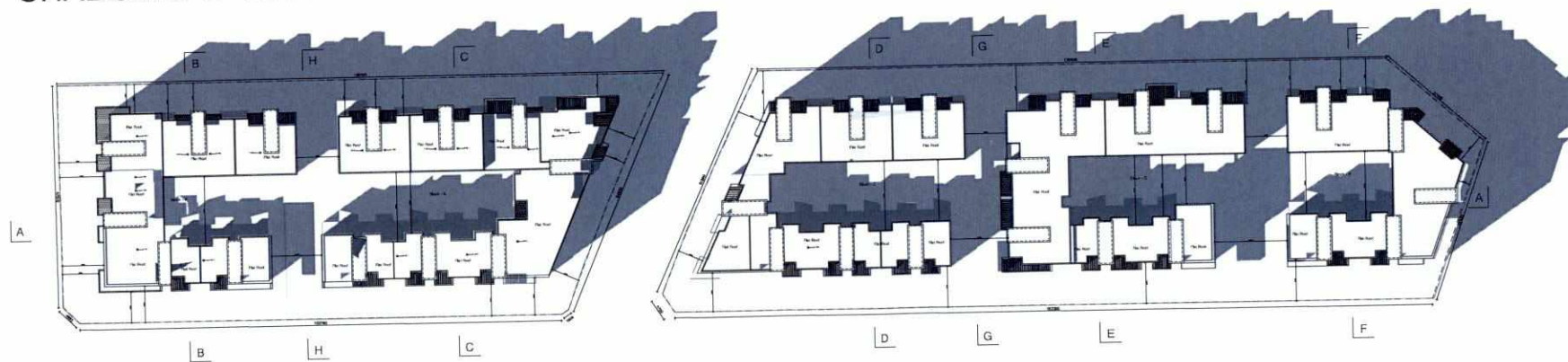
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120511 DA600

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1:500 (on A0)

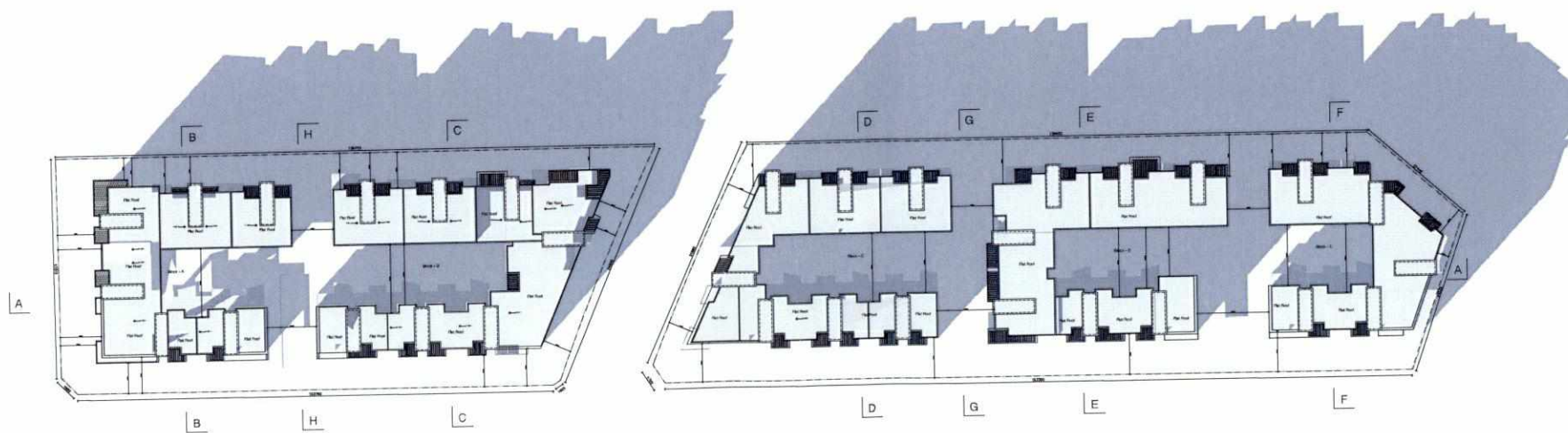
ISSUE:
H



SHADOWS @ 1:00 PM ON 21ST JUNE



SHADOWS @ 2:00 PM ON 21ST JUNE



SHADOWS @ 3:00 PM ON 21ST JUNE

SHADOWS 2 OF 2

F	GENERAL REVISION-RFDC COMPLIANCE/SITE AREA CALCULATION TO MATCH WITH PROVIDED DP PLAN	05.08.2015	DN
E	AMENDED TO COMPLY WITH HEIGHT & WASTE MANAGEMENT	06.07.2015	DN/TN/YP
D	AMENDED AS PER COUNCIL COMMENTS	28.02.2015	YP
C	ISSUED FOR DA SUBMISSION	21.03.2014	NW/KR
B	RENDERED FOR SCREEN TO DESIGN/ EMAIL DATED 08.10.2015	17.11.2015	DN
A	AMENDED AS PER COUNCIL EMAIL DATED 11.08.2015	11.08.2015	YP
ISSUE	AMENDMENT	DATE	DRAWN

Prepared For



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SHEET TITLE:
SHADOWS 2 OF 2

LOADED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
NM/KR
CHECKED BY:
DRK & FRG
DATE:
DEC 12

PROPOSED RESIDENTIAL DEVELOPEMENT
AT 60 PELICAN ROAD, SCHOFIELDS

JOB No:
120511 DA601

SCALE:
1:500 (On A0)

ISSUE:
H